

MAYFIELD VILLAGE
MONTEBELLO SUBDIVISION - HIGHLAND RD.
NEW SINGLE FAMILY APPLICATION

Mayfield Village Building Department
6622 Wilson Mills Rd, Mayfield Village, Ohio 44143
Ph: 440-461-2213 Fax: 440-442-5077

APPLICATION DATE 12/9/22 PERMIT NUMBER _____

A.R.B. FEE \$ 100.00
BUILDING FEE \$1,400.00 + 1% Residential State Fee = _____
GRADE FEE \$ 300.00
Supplemental **Bond Deposit** \$ 500.00
Performance **Bond Deposit** \$ 500.00
Engineer Review, Footer Check & As-Built Verification **Bond Deposit** \$ 750.00

TOTAL: \$ _____

SQUARE FOOTAGE: 2100 ESTIMATED COST OF CONSTRUCTION \$ 350,000

To the Building Commissioner: Application is hereby submitted for a permit to erect a **NEW SINGLE FAMILY** structure as described in this application and the accompanying drawings which are part of this application. The acceptance of the permit herein applied for shall constitute an agreement on the part of the undersigned to abide by all the conditions herein contained, and to comply with all ordinances of the Village, including but not limited to compliance with the Village's Riparian Setback Ordinance at Chapter 1127, laws of the State and any special requirements, relating to work to be done there under, and said agreement is a condition of said permit.

It is hereby specifically agreed that the undersigned will notify the Building Department to inspect the following: Footings, foundations, waterproofing, sewers and drain before drywall; chimneys and flues before mason finish; fireplaces, mantels, fixtures, furnaces, boilers, and any other assemblies or materials prior to concealing them.

NOTE: THE ARB MEETS THE SECOND AND FOURTH THURSDAY; APPLICATION AND SIX SETS OF DRAWINGS (1/4" = 1') TO BE SUBMITTED 2 WEEKS IN ADVANCE. PICTURES OF EXISTING STRUCTURES AND SITE OF PROPOSED CONSTRUCTION TO BE INCLUDED.

OWNER NAME Linda Marini PHONE 440 567 7850

ADDRESS 6459 South Cobblestone Rd Permanent Parcel No. 931-10-087

GENERAL CONTRACTOR Skoda Construction Inc PHONE 216 214 3142

ENGINEER Caruso Engineering PHONE 631-276-9340

HEATING CONTRACTOR A NEW IMAGE PHONE 216 896 9500

PLUMBING CONTRACTOR TAYLOR PLUMBING PHONE 440 635 0642

ELECTRICAL CONTRACTOR A&M Electric PHONE 440 463 0917

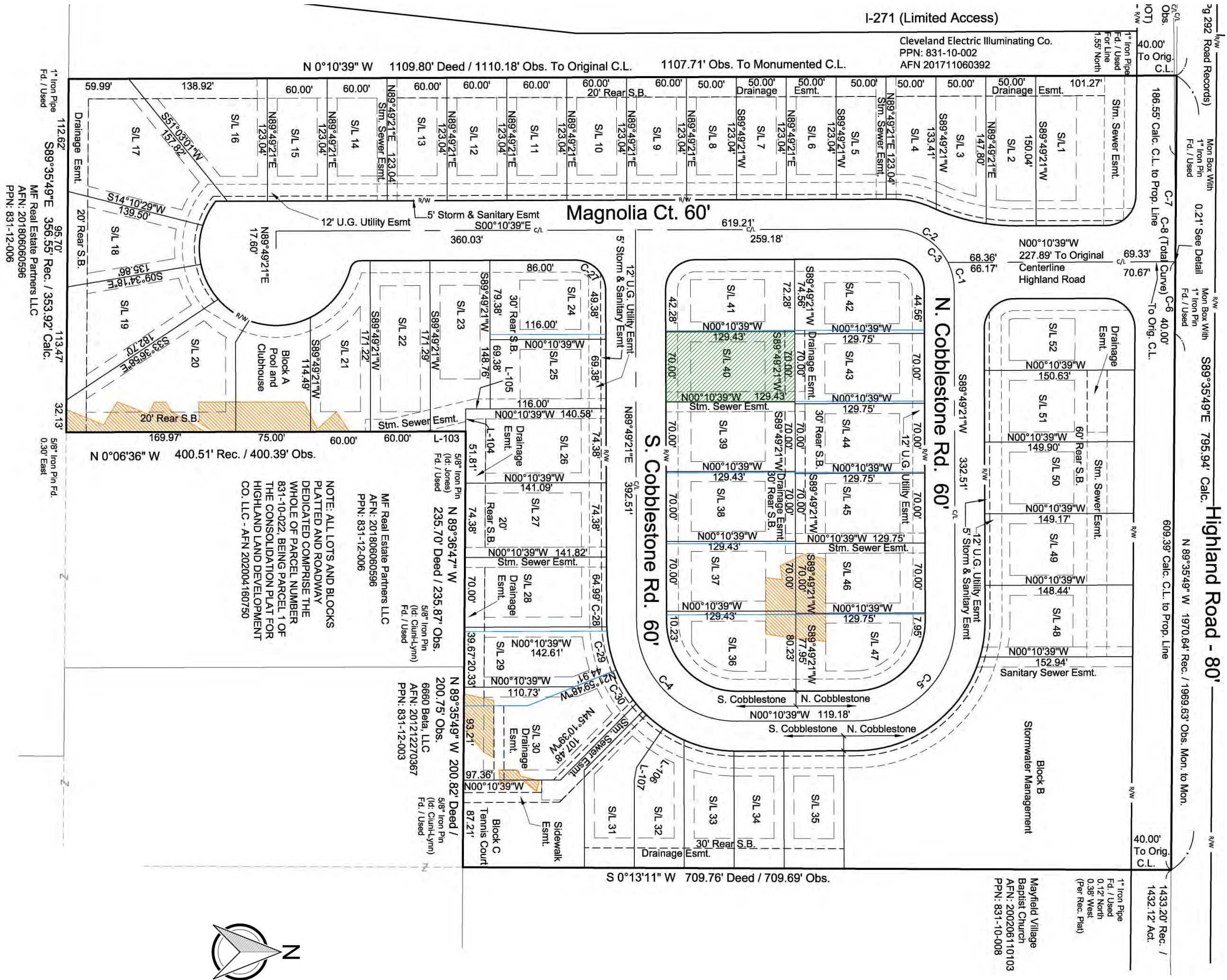
Signature of Owner or Contractor  Date 12/9/22

<u>S/L 17</u>	<u>S/L 16</u>	<u>S/L 15</u>	<u>S/L 14</u>	<u>S/L 13</u>	<u>S/L 12</u>	<u>S/L 11</u>	<u>S/L 10</u>	<u>S/L 9</u>	<u>S/L 8</u>	<u>S/L 7</u>	<u>S/L 6</u>	<u>S/L 5</u>	<u>S/L 4</u>	<u>S/L 3</u>	<u>S/L 2</u>	<u>S/L 1</u>
<u>S/L 18</u>																

<u>S/L 19</u>	
<u>S/L 20</u>	

<u>S/L 21</u>	<u>S/L 22</u>	<u>S/L 23</u>
		

<u>S/L 24</u>	<u>S/L 25</u>	<u>S/L 26</u>	<u>S/L 27</u>	<u>S/L 28</u>	<u>S/L 29</u>	<u>S/L 30</u>
						



<u>S/L 31</u>	<u>S/L 32</u>	<u>S/L 33</u>	<u>S/L 34</u>	<u>S/L 35</u>

<u>S/L 41</u>	<u>S/L 42</u>
<u>S/L 40</u>	<u>S/L 43</u>
<u>S/L 39</u>	<u>S/L 44</u>
<u>S/L 38</u>	<u>S/L 45</u>
<u>S/L 37</u>	<u>S/L 46</u>
<u>S/L 36</u>	<u>S/L 47</u>

<u>S/L 52</u>
<u>S/L 51</u>
<u>S/L 50</u>
<u>S/L 49</u>
<u>S/L 48</u>



Mulberry Model Unit - S/L 27



View of S/L 40 looking North from S. Cobblestone Rd



View of S/L 40 looking West from S. Cobblestone Rd



View looking East from S/L 40 from Magnolia Court



View looking Southwest from S/L 40

Montebello Site Photos - S/L 40 ARB Submission

12.14.2022



Skoda Construction

Montebello Development

Exterior Finishes Checklist

Date: 12/9/22

Sublot #: 40 Address: 6459 South Cobblestone Rd

Cultured Stone Veneer:

- ☐ Hudson LedgeStone
- ☐ Southwest LedgeStone
- ☐ Summit LedgeStone
- ☐ Chardonnay Euro Castle
- ☐ Chardonnay Drystak LedgeStone
- ☐ Gray Cobbles
- ☐ Mojave Country LedgeStone
- ☐ Chardonnay Alpine LedgeStone
- ☐ Country LedgeStone
- ☐ Aspen LedgeStone
- ☒ Pheasant Alpine LedgeStone
- ☐ Chardonnay Country LedgeStone
- ☐ Palisades Villa LedgeStone
- ☐ Field Shale Creek
- ☐ Sawgrass LedgeStone

Asphalt Roof Shingles:

- ☒ Moire Black
- ☐ Colonial Slate
- ☐ Pewter
- ☐ Weathered Wood

Accent Metal Roof: (if applies)

- ☒ Black
- ☐ Dark Bronze
- ☐ Charcoal Gray

☐ _____

Window Color: (if applies)

- ☒ White
- ☐ Black

Gutters and Downspouts Color:

- ☒ White
- ☐ Black

Vinyl Siding 1:

- ☐ Glacier White
- ☐ Platinum Gray
- ☐ Tuscan Clay
- ☐ Coastal Sage
- ☐ Charcoal Smoke
- ☐ Storm

Siding 1 Type: _____

Vinyl Siding 2: (if applies)

- ☐ Glacier White
- ☐ Platinum Gray
- ☐ Tuscan Clay
- ☐ Cape Cod Gray
- ☒ Charcoal Smoke
- ☐ Storm

Siding 2 Type: _____

Vinyl Siding 3: (if applies)

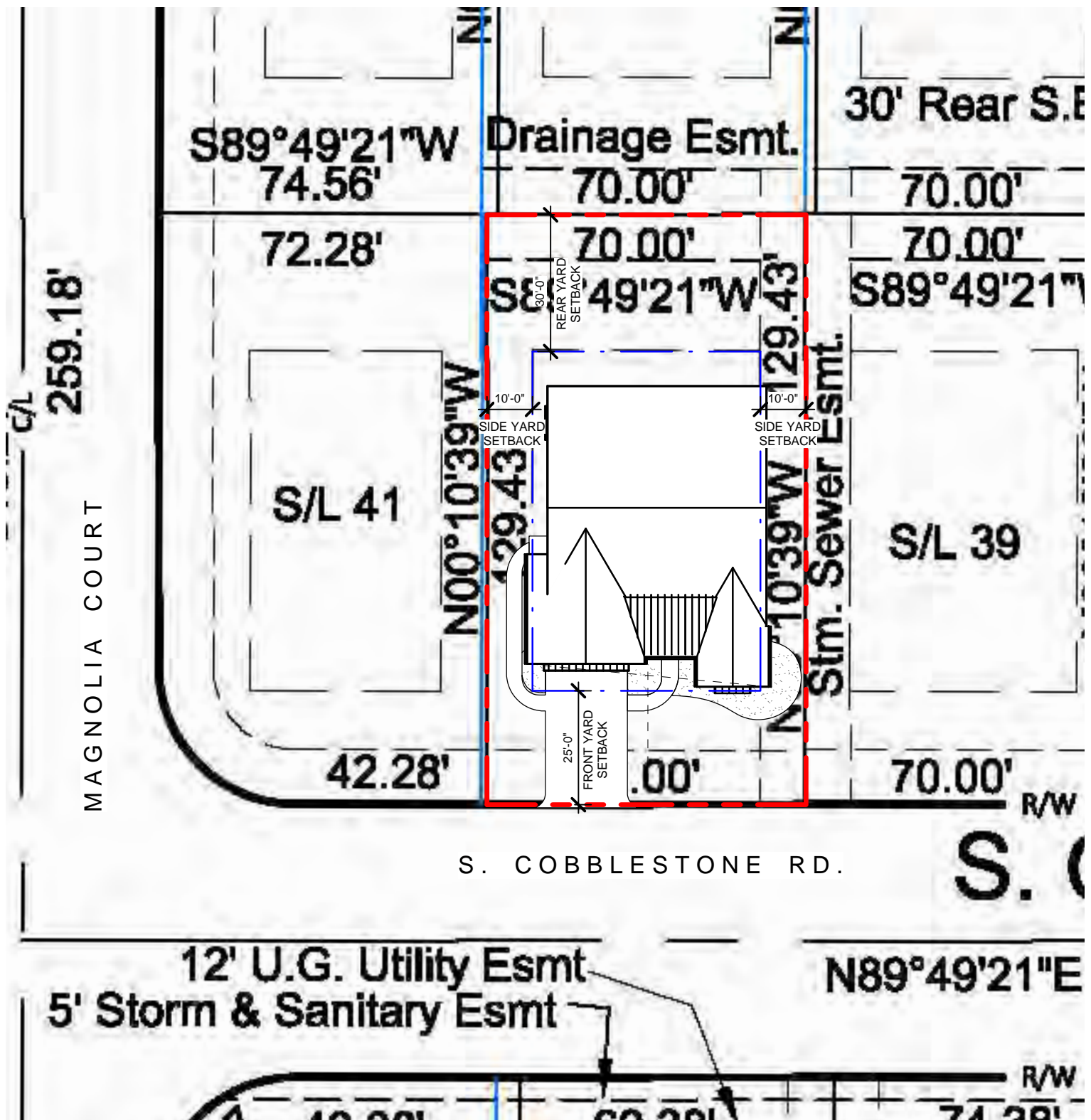
- ☐ Glacier White
- ☐ Platinum Gray
- ☐ Tuscan Clay
- ☐ Cape Cod Gray
- ☐ Charcoal Smoke
- ☐ Storm

Siding 3 Type: _____

Trim: Window / Door / Siding

- ☒ White
- ☐ Black

☐ _____



SCHEMATIC SITE PLAN



Montebello
S/L 40 - Model D

ARB Submission 12.14.2022



SKODA
CONSTRUCTION INC.

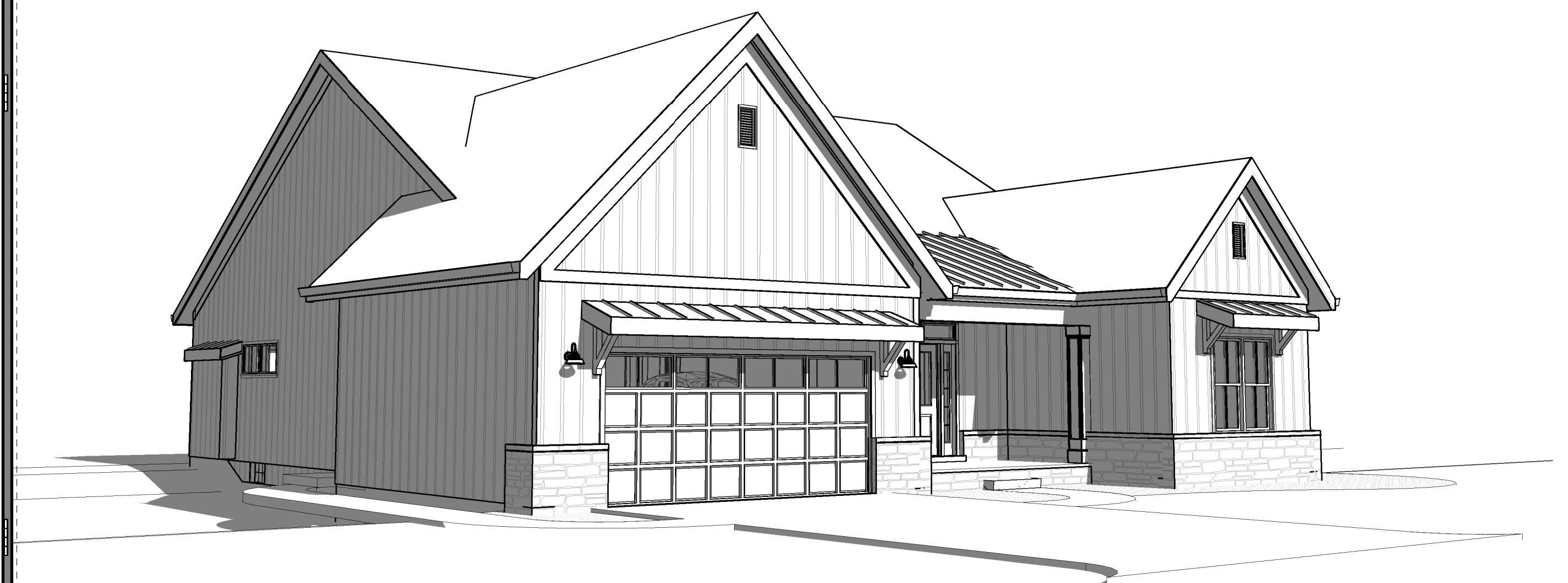
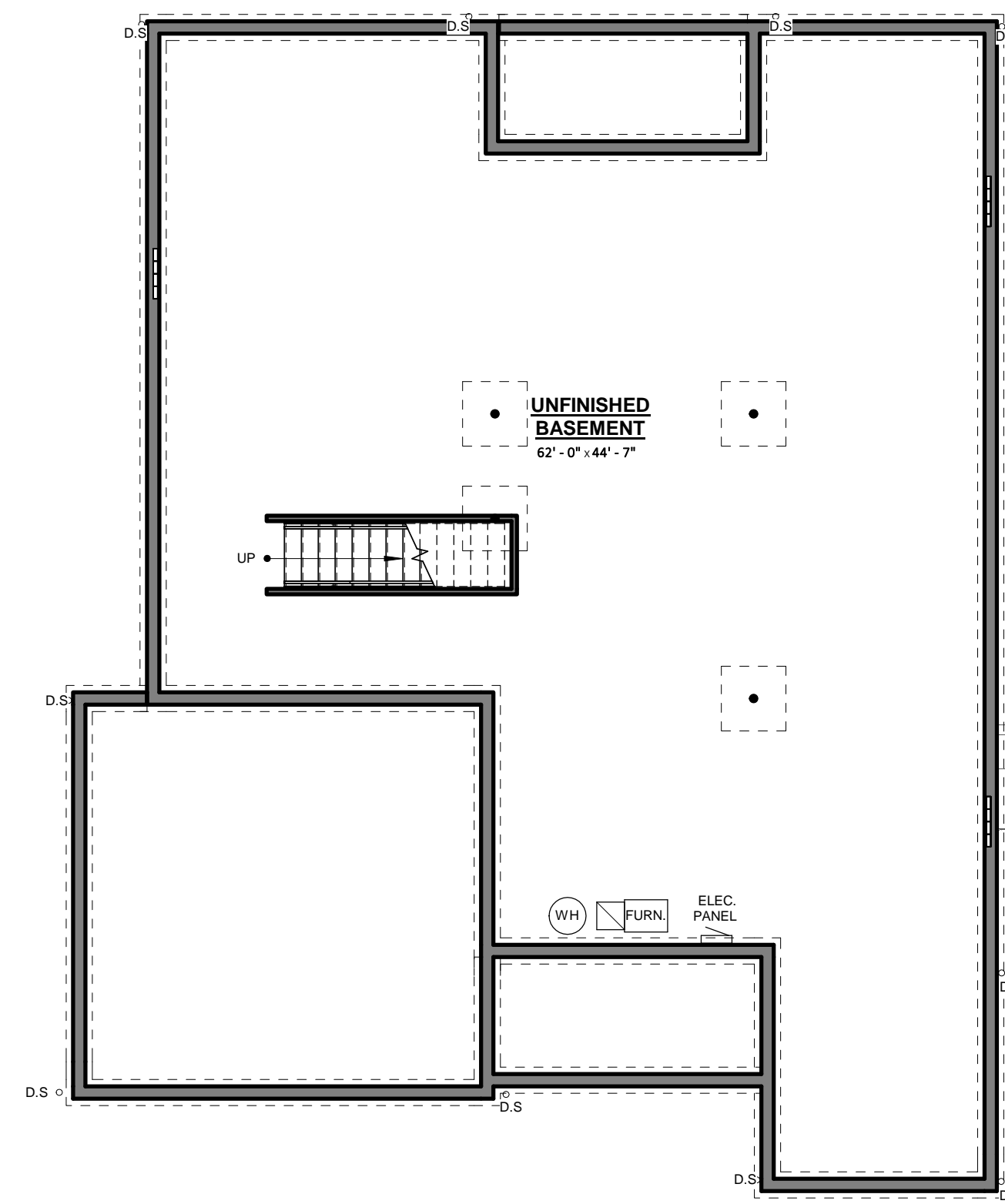
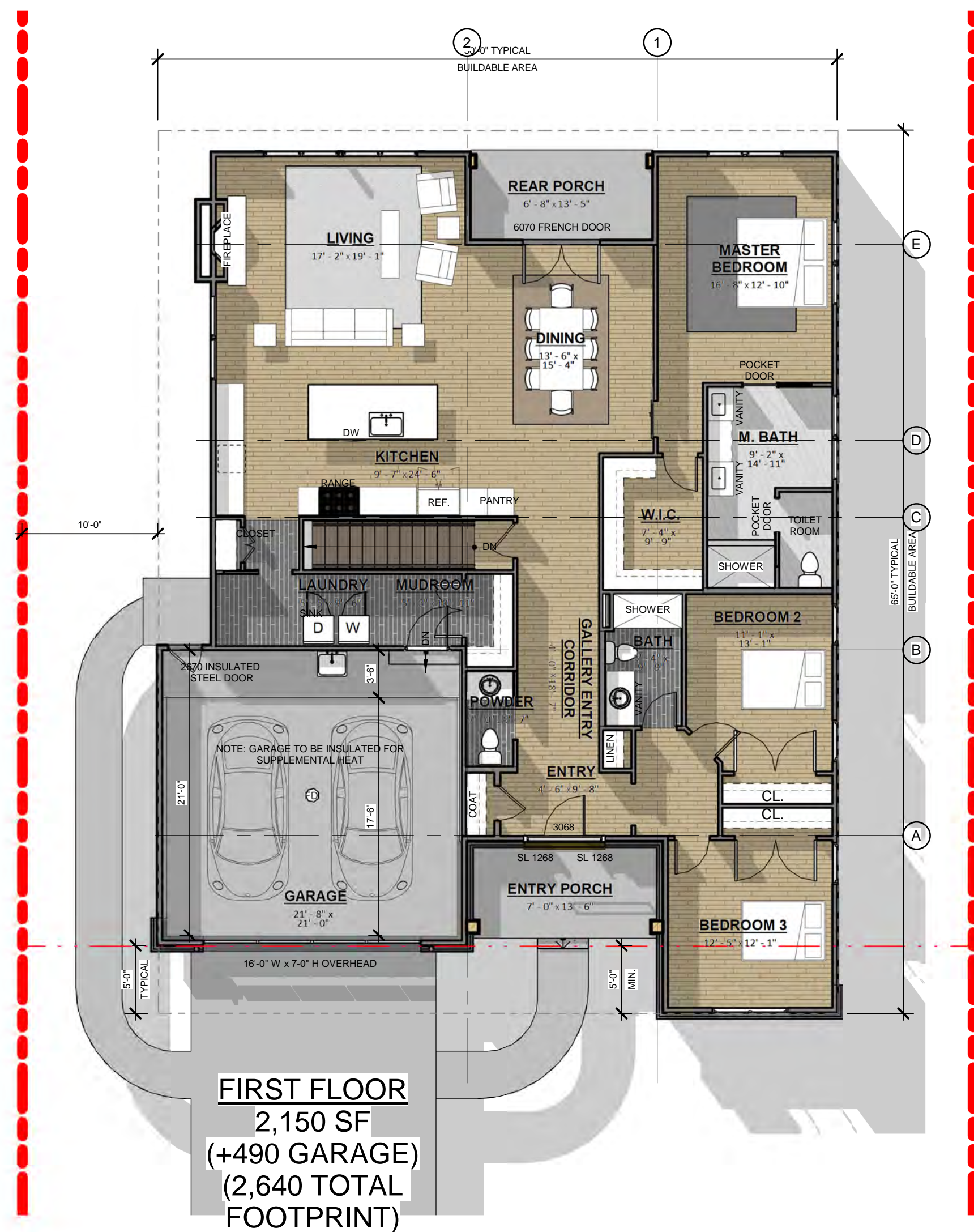




FRONT PERSPECTIVE



REAR PERSPECTIVE



SIDE PERSPECTIVE

EXTERIOR FINISH LEGEND

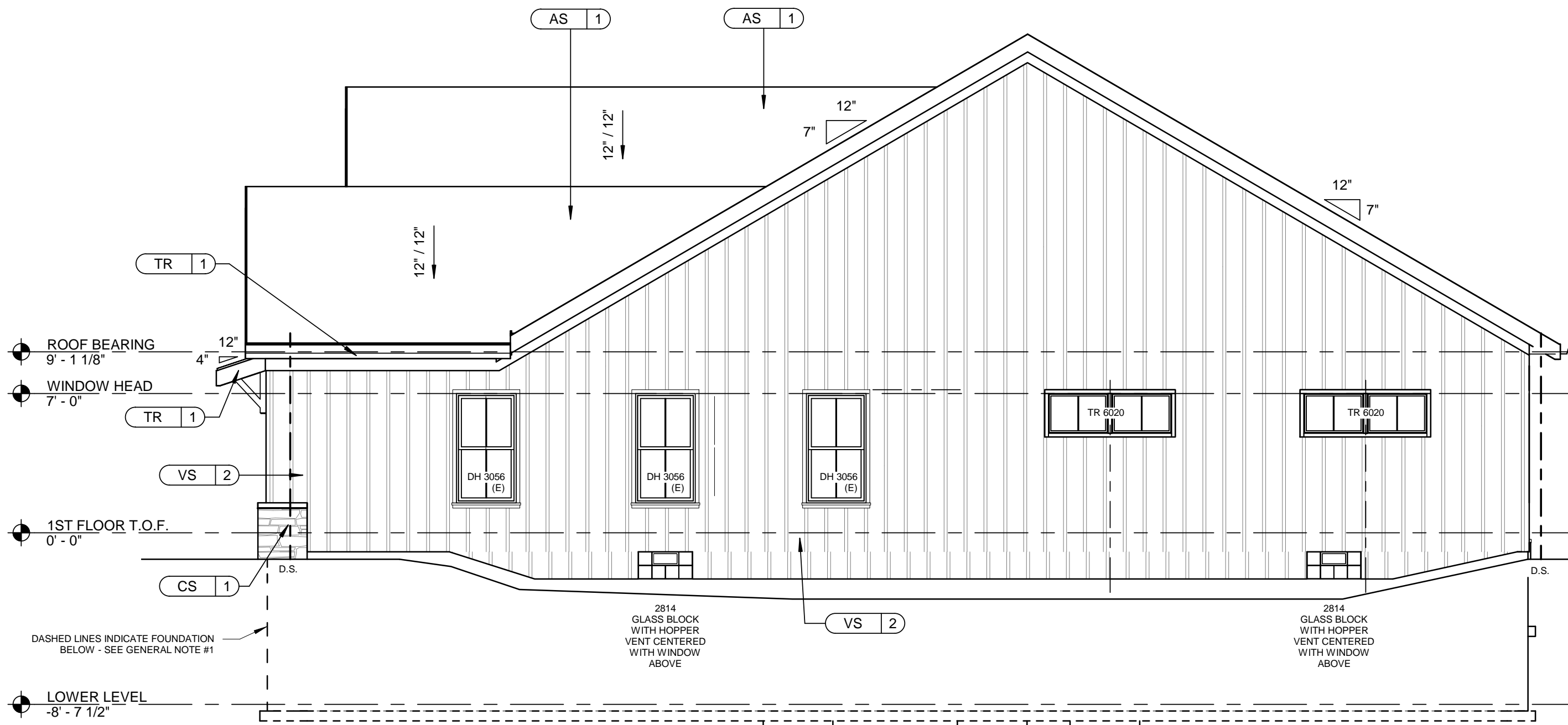
VS-1	DOUBLE 5" DUTCH LAP SIDING - COLOR: TBD
VS-2	VERTICAL BOARD AND BATTEN - COLOR: TBD
VS-3	SHAKE SIDING - COLOR: TBD
GV-1	VINYL GABLE VENT - COLOR TO MATCH TR-1
GV-2	RECTANGULAR VINYL GABLE VENT - COLOR TO MATCH WINDOWS
AS-1	ASPHALT SHINGLE - COLOR: TBD
MTL-1	STANDING SEAM METAL ROOF - COLOR: TBD
CS-1	CULTURED STONE - TBD
TR-1	TRIM OR PAINT TO MATCH TRIM NOTE: ALL TRIM TO BE AZEK COLOR: "WHITE"
NOTE: FASCIAS BEHIND GUTTERS SHALL BE ALUMINUM WRAPPED 2x's - REFER TO TYPICAL WALL SECTIONS	

GENERAL NOTES - EXTERIOR ELEVATIONS

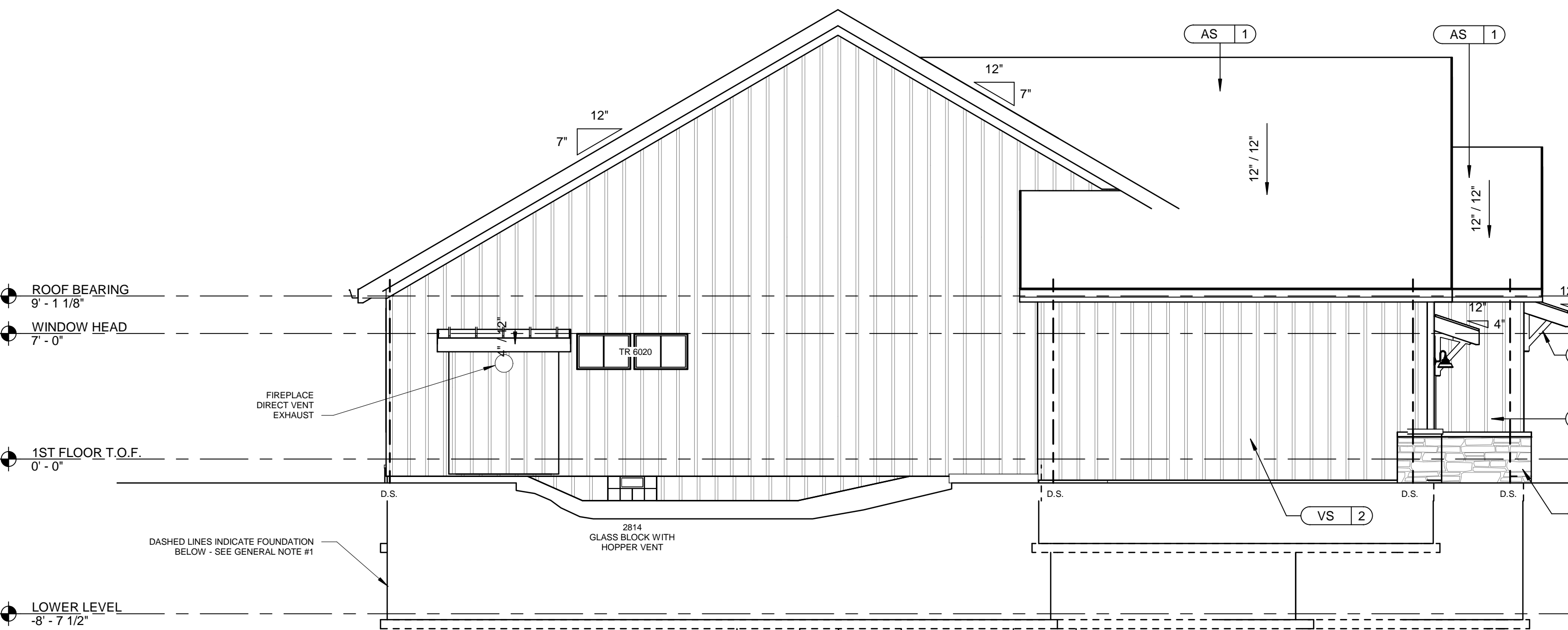
1. ASSUMED GRADE IS SHOWN FOR REFERENCE ONLY AND IS SUBJECT TO CHANGE - VERIFY IN FIELD. G.C. SHALL COORDINATE WITH ARCHITECT IF THERE ARE ANY DISCREPANCIES AND / OR REFER TO CIVIL DRAWINGS IF PROVIDED. STEP ALL FOOTINGS WITH GRADE ACCORDINGLY.
2. PROVIDE MASONRY EXPANSION JOINTS WITH SEALANT AND BACKER ROD IN STONE VENEER. SPACING BETWEEN JOINTS IS NOT TO EXCEED 25'-0" AND NO CLOSER THAN 2'-0" FROM CORNERS.
3. PROVIDE HIGH PERFORMANCE PAINT FOR ALL EXTERIOR WORK.
4. TOP OF SLAB ELEVATION SHOWN AT 0'-0". VERIFY ACTUAL ELEVATION.
5. T.O.S. = TOP OF SLAB OR TOP OF SUBFLOOR
6. WINDOWS AND DOORS TO RECEIVE PROPER FLASHING, CAULKING, GASKETING, ADHESIVE, FLASHING TAPE, FOAM INSULATION OR WEATHER STRIPPING AS REQUIRED FOR A COMPLETE AIR BARRIER AND AS RECOMMENDED BY THE WINDOW AND DOOR MANUFACTURER. PROVIDE PAN FLASHING AT ALL EXTERIOR DOORS AND SLIDING GLASS DOORS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENT EXPANSION AND CONTRACTION.
7. EXTERIOR LIGHTING IS SHOWN FOR GENERAL INTENT. ALL ELECTRICAL DESIGN AND ENGINEERING IS TO BE PROVIDED BY OTHERS. FINAL LOCATIONS AND QUANTITIES OF FIXTURES ARE TO BE COMPLIANT WITH ALL STATE/CITY/ LOCAL BUILDING CODES AND ARE TO BE COORDINATED WITH THE OWNER. ELECTRICAL CONTRACTORS ARE TO PROVIDE THEIR RESPECTIVE UTILITIES AND FIXTURES THROUGH THE DESIGN/ BUILD PROCESS WITH THE G.C. ALL PERMITTING REQUIREMENTS ARE TO BE PROVIDED BY THE G.C. AND THE SUBCONTRACTOR.
8. ALL GROUPED WINDOWS ARE ASSUMED TO BE FACTORY MULLED. CONTRACTOR TO COORDINATE ROUGH OPENING, HEADERS, COLUMNS, GIRTS, ETC. WITH WINDOW MANUFACTURER.

WINDOW NOTES

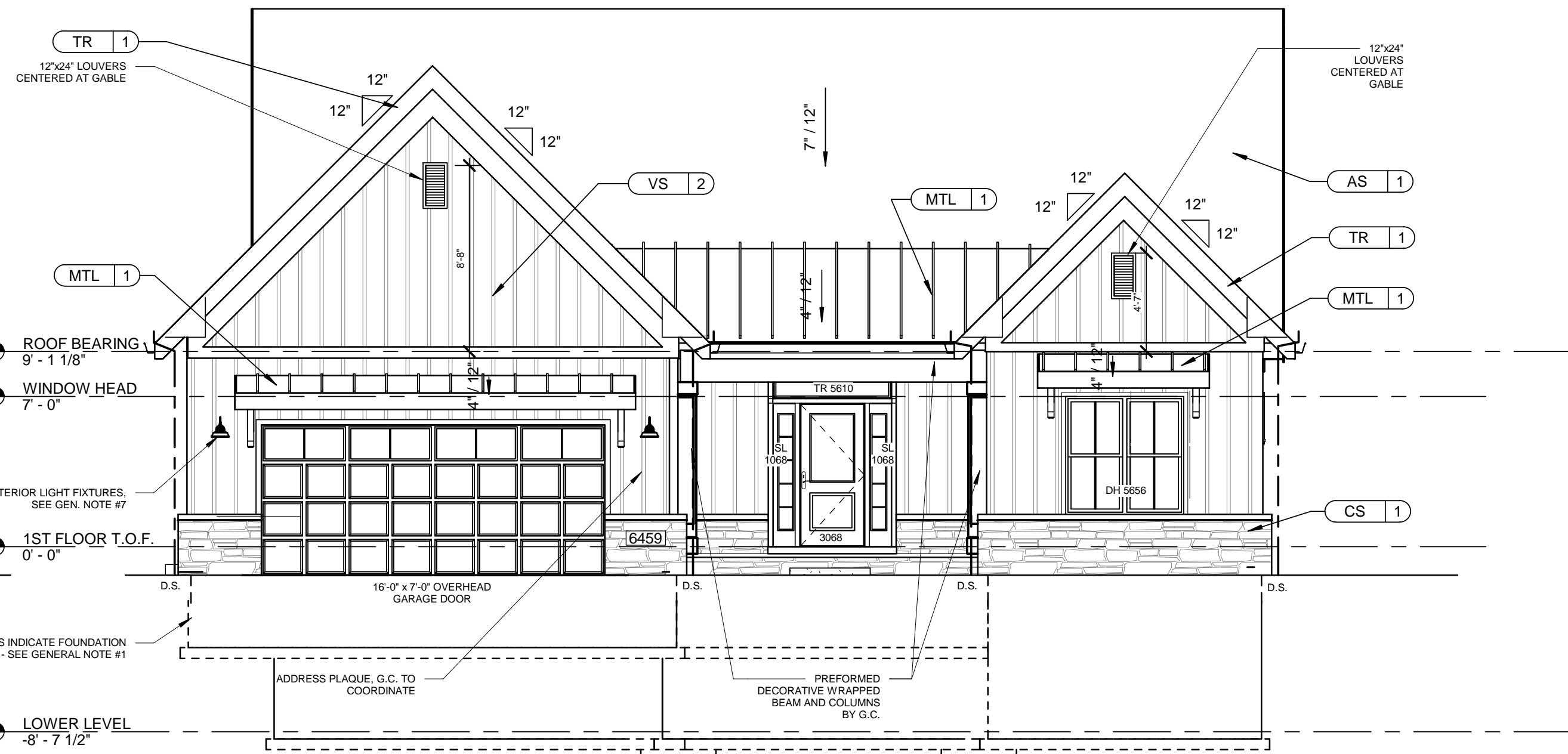
9. OVERALL WINDOW DIMENSIONS INDICATE THE OUTSIDE OF FRAME DIMENSIONS. ALL ROUGH OPENING DIMENSIONS SHOULD BE COORDINATED WITH THE MANUFACTURER.
10. ALL NEW WINDOWS SHALL MEET THE REQUIREMENTS OF CHAPTER 11 ENERGY EFFICIENCY OF THE RESIDENTIAL CODE OF OHIO. REFER TO THE ENERGY EFFICIENCY SECTION ON THE COVER SHEET FOR MORE INFORMATION.
11. WINDOWS ARE DESIGNATED AS (DH) FOR DOUBLE HUNG, (CS) FOR CASEMENT, (AW) FOR AWNING, (FX) FOR FIXED, (TR) FOR TRANSOM AND / OR (SP) FOR SPECIALTY AS NOTED ON THE DRAWINGS.
12. SOME WINDOWS MAY REQUIRE TEMPERING. VERIFY WITH SUPPLIER.
13. ALL OPERABLE WINDOWS TO BE PROVIDED WITH INSECT SCREENS.
14. CALL OUT NUMBERS ARE EXPRESSED IN FEET AND INCHES AND EXPRESS FRAME SIZE (3050 = 3'-0" WIDE x 5'-0" HIGH).
15. (E) SYMBOL INDICATES WINDOW MEET EGRESS CODE. (T) INDICATES TEMPERED SAFETY GLAZING.
16. SEE ELEVATIONS FOR LOCATIONS AND PATTERNS OF WINDOW UNITS WITH GRILLES.
17. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 MM) FOR EMERGENCY ESCAPE/RESCUE OPENINGS. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 MM) FOR EMERGENCY ESCAPE/RESCUE OPENINGS.
18. WINDOW FALL PREVENTION DEVICES & WINDOW GUARDS, WHERE PROVIDED, SHALL COMPLY WITH THE REQUIREMENTS OF ASTM F 2090
19. WINDOW OPENING LIMITING DEVICES, WHERE PROVIDED, SHALL COMPLY W/ RCO 612.4



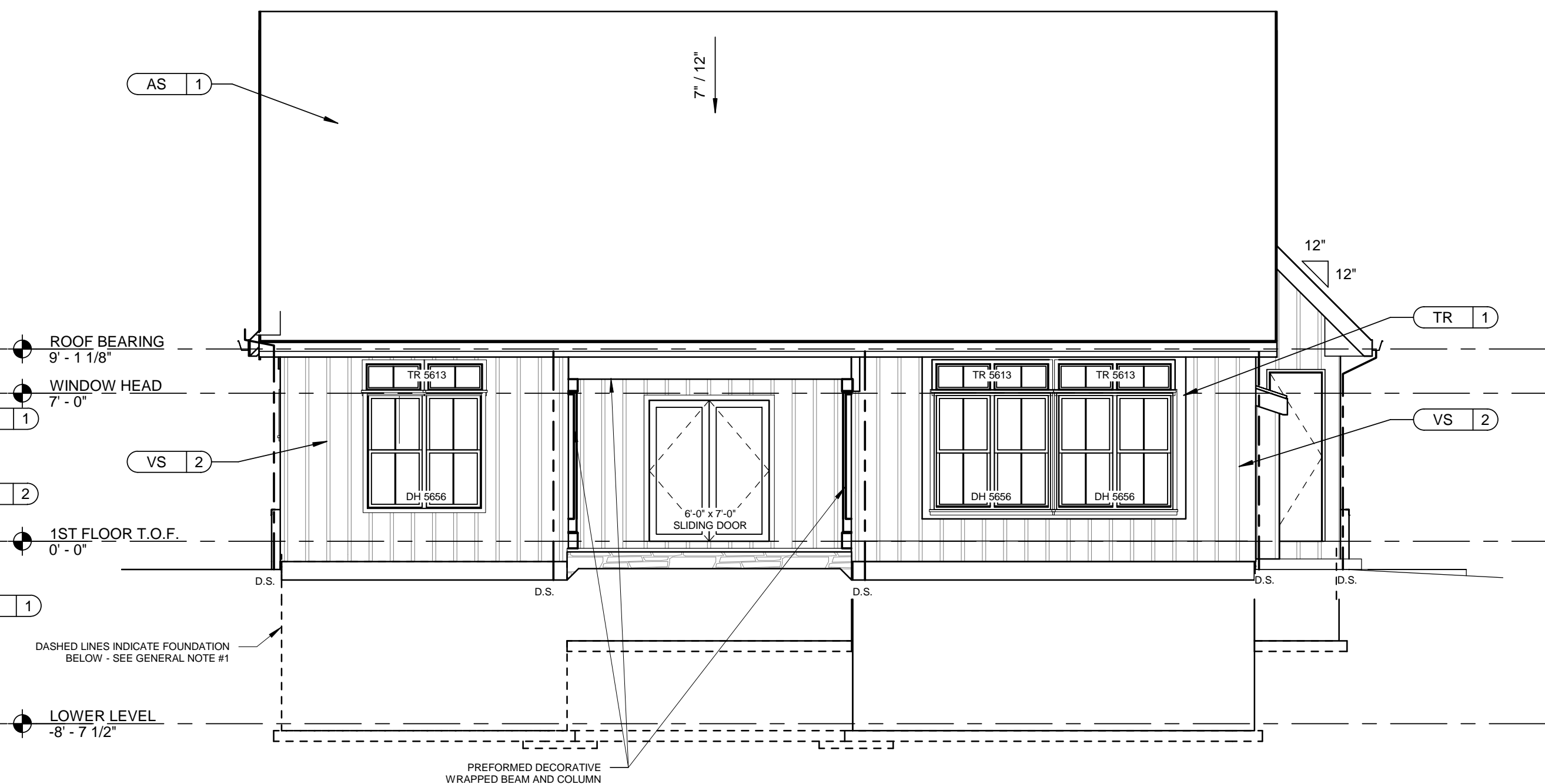
2 LEFT ELEVATION
A1.03 SCALE: 3/16" = 1'-0"



4 RIGHT ELEVATION
A1.03 SCALE: 3/16" = 1'-0"



1 FRONT ELEVATION
A1.03 SCALE: 3/16" = 1'-0"



3 REAR ELEVATION
A1.03 SCALE: 3/16" = 1'-0"

PREVIOUS SET ISSUE:	DATE:
CURRENT ISSUE: ARB Submission	
ISSUE DATE: 12.14.2022	

revisions		
no.	description	date
1	Addendum #1	10.12.2022

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Montebello
S/L 40 - Model D
Skoda Construction
6459 South Cobblestone Road
Mayfield Village, Ohio 44143

Sheet Name:
ELEVATIONS

Sheet Number:
A1.03